

VICINITY MAP
(NOT TO SCALE)

SUMMARY INFO:

DEVELOPMENT STANDARDS IL ZONE (40,230.085-2)

MINIMUM LOT SIZE: NONE
 MAXIMUM LOT COVERAGE: TO BE DETERMINED
 MINIMUM LOT WIDTH: NONE
 MINIMUM LOT DEPTH: NONE
 MAXIMUM BUILDING HEIGHT: 100 FT
 MINIMUM FRONT SETBACK: 10 FT
 MINIMUM REAR SETBACK: 0 FT
 MINIMUM SIDE SETBACKS: 0 FT NORTH, 10 FT SOUTH
 MINIMUM LANDSCAPE AREA: 10%

DEVELOPMENT DATA:

GROSS AREA: 810,251 SF 18.6 ACRES
 WETLAND AREA AND BUFFER: 182,957 SF 4.2 ACRES (22.5% OF GROSS AREA;
 INCLD. 86,695 SF OF WETLAND AREA
 AND 96,262 SF OF 75' BUFFER)
 PROPOSED PROJECT AREA: 627,294 SF 14.4 ACRES (77.5% OF GROSS AREA)
 PROPOSED BUILDING: 256,190 SF (INCLD. 198,990 SF OF TOTAL 23
 SINGLE STORY WAREHOUSE
 BUILDINGS AND 57,200 SF OF TOTAL 7
 SELF STORAGE BUILDINGS &
 OFFICE/CARETAKER UNIT)
 ROW AREA: 6,395 SF (PROP. DEDICATED TO ROW ON EAST)
 EXIST. EASEMENT AREA:
 WITHIN PROJECT AREA: 15,397 SF (INCLD. PORTION OF 20' ACCESS
 EASEMENT AFN 3714790 & PORTION OF
 23' POWER EASEMENT AFN C82488)
 OUTSIDE PROJECT AREA: 87,121 SF (ON WEST AFN 3714790)
 NET AREA (PROJECT AREA -
 ROW, EASEMENT & BLDG SQ FT): 349,312 SF (=627,294 - 15,397 - 6,395 - 256,190)
 INTERIOR LANDSCAPE: 56,000 SF (16% OF NET AREA)

PARKING:

REQUIRED: 1 SPACE/1500 SF (256,190/1500)=171
 PROVIDED: 296 SPACES (INCLD. 17 HANDICAP PRK'G, 6 VAN
 ACCESSIBLE PRK'G AND 63 COMPACT
 PARK'G)

WASTE/RECYCLE:

REQUIRED: 10 SF + 4 SF/1,000 SF OF GROSS FLOOR AREA
 (4256,190/1000) + 10 SF = 1025 SF

PROVIDED: 1,163 SF

STORM FACILITY:
 SEE CIVIL PLANS

LOADING:
 LOCATED IN FRONT OF EACH UNIT

**ACTIVE OR PASSIVE RECREATIONAL OR OPEN
 SPACE FEATURES:**
 TO BE DETERMINED

ABOVE-GROUND UTILITIES:
 SEE CIVIL & EXISTING PLAN

EXISTING STRUCTURE TO BE RETAINED:
 TO BE DETERMINED

SIGNING AND STRIPING PLAN:
 TO BE SUBMITTED WITH FINAL ENGINEERING

SANITARY SEWER EASEMENT:
 SEE CIVIL PLANS

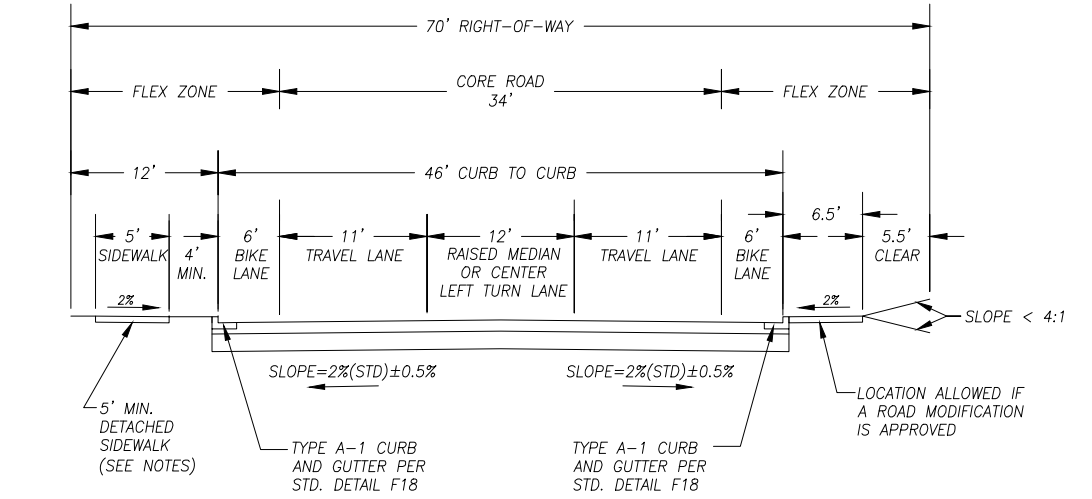
WETLAND AREA: PRESENT ON-SITE

CODE SUMMARY:

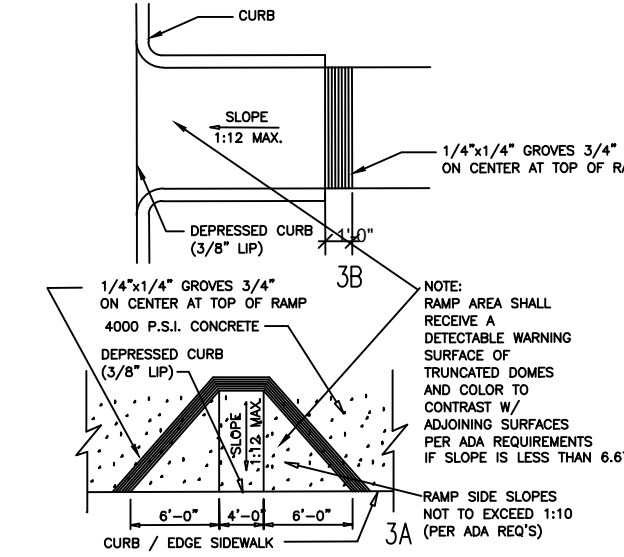
JURISDICTION: CLARK COUNTY
 WATER: CLARK PUBLIC UTILITIES
 SEWER: CLARK REGIONAL
 ELECTRIC UTILITY: N/A
 BUILDING CODE: TO BE DETERMINED
 CONSTRUCTION: TO BE DETERMINED
 USE TYPE: TO BE DETERMINED

NOTE:

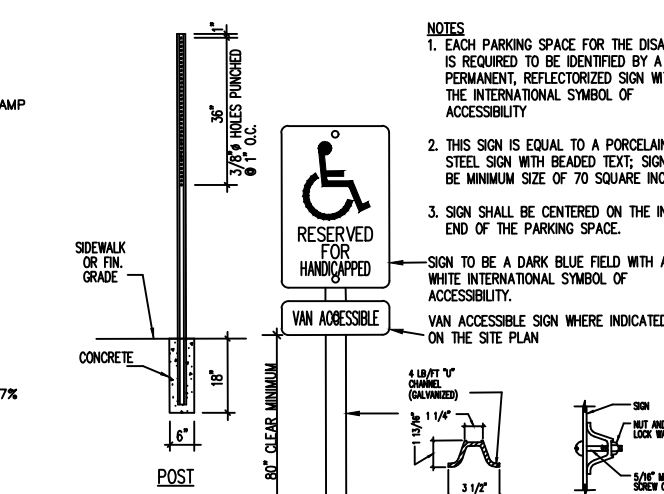
IF ANY CULTURAL RESOURCES ARE DISCOVERED IN THE COURSE
 OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF
 ARCHAEOLOGY AND HISTORIC PRESERVATION IN OLYMPIA AND CITY OF
 VANCOUVER DEVELOPMENT REVIEW SERVICES SHALL BE NOTIFIED.
 FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY
 CONSTITUTE A CLASS C FELONY, PUNISHABLE BY IMPRISONMENT
 AND/OR FINES.



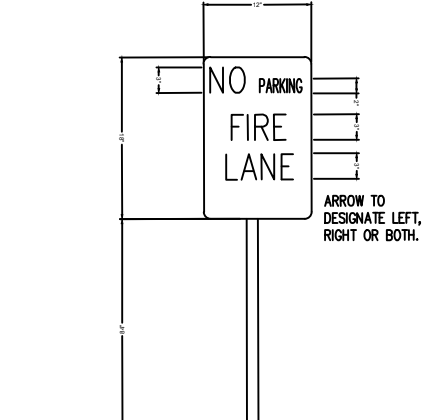
URBAN COLLECTOR (C-2cb)
 2-LANE W/ CENTER LEFT TURN & BIKE LANES



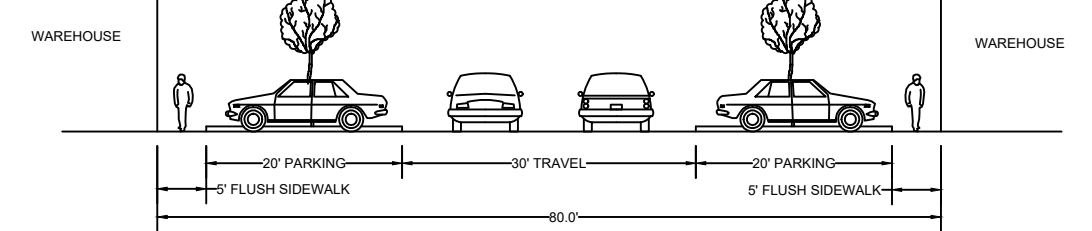
TYP. H/C RAMP &
 TACTILE NOTES



TYP. H/C PARKING SIGN



TYP. NO PARKING FIRE LANE SIGN
 FOR BOTH DIRECTION (R7-107)



TYPICAL ROAD SECTION

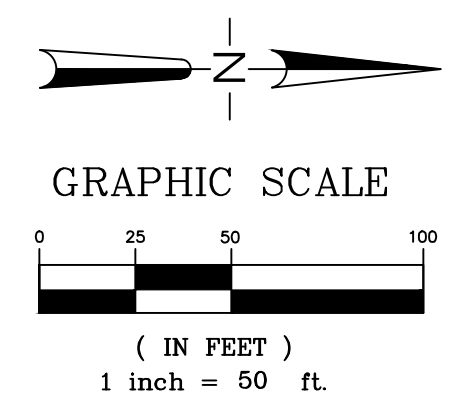
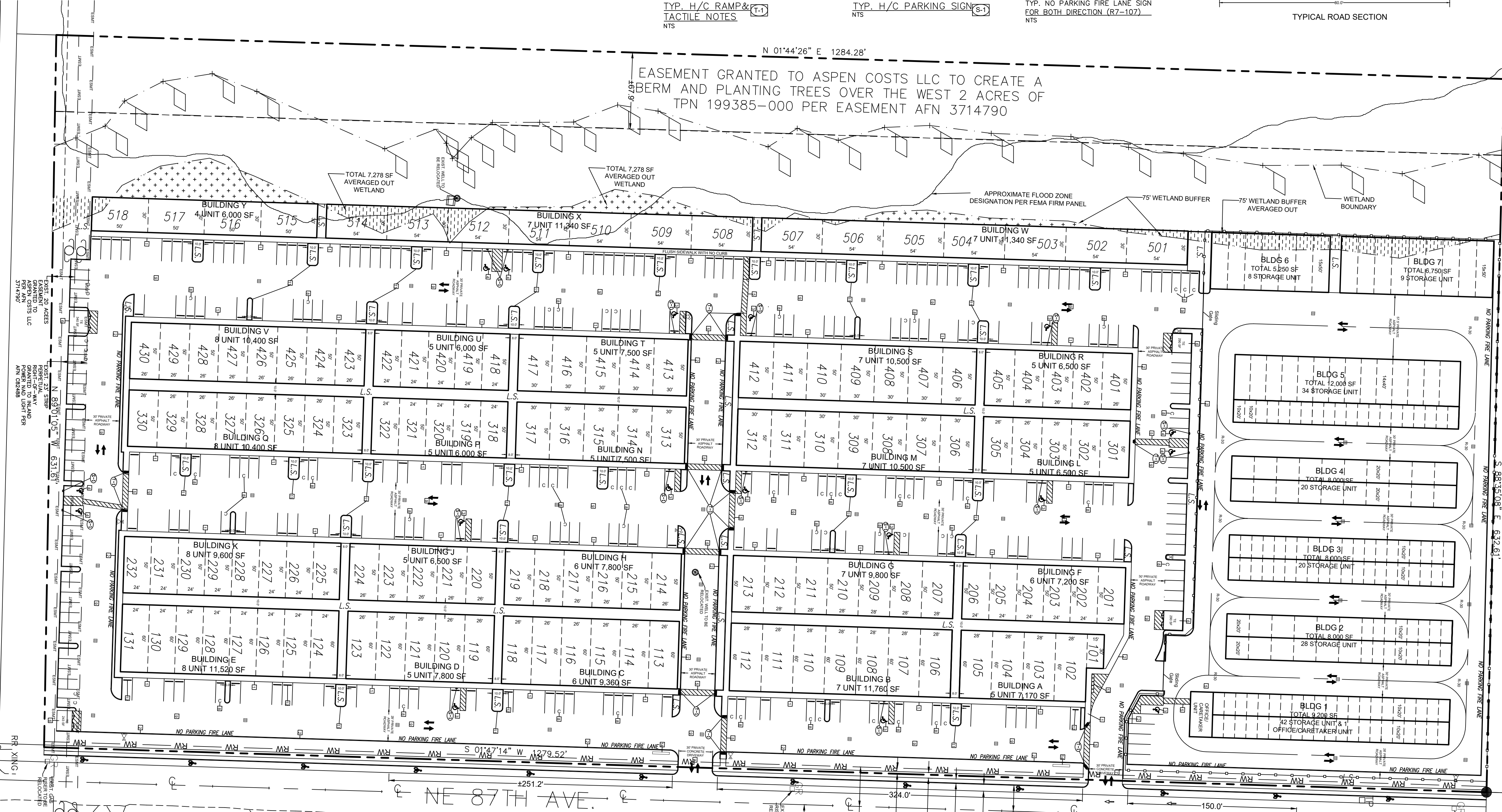
CONSTRUCTION NOTES

- CONSTRUCT 5' FLUSH CONCRETE SIDEWALK
- INSTALL TYPE E-1 CONCRETE CURB (PER C.O.V. STD. PLAN T01-01)
- INSTALL STANDARD A.D.A. ACCESSIBLE PARKING STALL STRIPING AND SIGNAGE (PER CHAPTER 5 OF 2010 A.D.A. STANDARDS)
- INSTALL VAN A.D.A. ACCESSIBLE PARKING STALL STRIPING AND SIGNAGE (PER CHAPTER 5 OF 2010 A.D.A. STANDARDS)
- INSTALL CROSSWALK STRIPING PER C.O.V. STD. PLAN T29-20
- PROPOSED TRASH ENCLOSURE (SEE FUTURE ARCHITECTURAL PLANS)
- PROPOSED 30' COMMERCIAL DRIVEWAY PER CITY OF VANCOUVER STANDARD DETAIL T01-07
- INSTALL COMPACT CAR PARKING MARKING PAVED MAINTENANCE AREA.

LEGEND:

- PROPERTY LINE
- RIGHT OF WAY
- PROP. BUILDING
- WETLAND
- WETLAND BUFFER
- LANDSCAPE
- EASEMENT
- SIDEWALK/CONC. PAD/TRAIL
- TRASH ENCLOSURE
- FENCING
- INDICATES EDGE OF ASPHALT
- INDICATES EDGE OF GRAVEL
- INDICATES 5' FOOT INTERNAL CONTOUR
- INDICATES 1' FOOT INTERNAL CONTOUR
- INDICATES WETLAND LINE
- INDICATES GAS LOCATE
- DIRECTION OF VEHICLE
- DISABLED PARKING
- TRANSFORMER
- INDICATES RIGHT OF WAY CENTERLINE
- INDICATES FOUND MONUMENT
- INDICATES CALCULATED POSITION (CORNERS TO BE SET ON RECORD OF SURVEY)
- INDICATES TELEPHONE PEDESTAL
- INDICATES POWER POLE WITH DIRECTION OF OVERHEAD LINES
- INDICATES GAS RISER
- INDICATES SIGN
- INDICATES WETLAND FLAG

RR ROW
 (100 FEET WIDE)
 CENTERLINE OF
 EXISTING RR RAILS



PRELIMINARY SITE PLAN FOR:

CURTIN CREEK WAREHOUSES

CHANGES / REVISIONS	DATE
WETLAND BUFFER ADJ.	5/01/18
ADJUSTED STORAGE AREA	4/1/19
DRIVEWAY LOCATION	9/24/19

DESIGNED: CB
 DRAWN: CB, CD
 CHECKED: KK
 DATE: FEBRUARY 2019
 SCALE: H: 1" = 50'
 V:

JOB NO.
 SHEET
 S1.0