

VICINITY MAP
(NOT TO SCALE)

WETLAND AREA: NO MAPPING INDICATORS

CODE SUMMARY
JURISDICTION: CLARK COUNTY
WATER: VANCOUVER
SEWER: CLARK REGIONAL
ELECTRIC UTILITY: N/A
BUILDING CODE: TO BE DETERMINED
CONSTRUCTION: TO BE DETERMINED
USE TYPE: TO BE DETERMINED

NOTE:
 • IF ANY CULTURAL RESOURCES ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION IN OLYMPIA AND CITY OF VANCOUVER DEVELOPMENT REVIEW SERVICES SHALL BE NOTIFIED. FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY, PUNISHABLE BY IMPRISONMENT AND/OR FINES.

SCHOOL DISTANCE: (40.510.050-1 SUB. 23)
 HADEL DEL ELEMENTARY SCHOOL 1.7 MILES
 GAISER MIDDLE SCHOOL 1.4 MILES
 SKYVIEW HI-SCHOOL 5.4 MILES

CONSTRUCTION TYPE: (PER UNIFORM BUILDING CODE)
 MULTI-FAMILY: V-A, PROTECTED COMBUSTIBLE
 TOWNHOUSES: V-B, UNPROTECTED COMBUSTIBLE
 COMMERCIAL: 2-B, UNPROTECTED NON-COMBUSTIBLE

SUMMARY INFO:

DEVELOPMENT STANDARDS CC ZONE (40.230.010-2)-HIGHWAY 99 OVERLAY

MINIMUM LOT SIZE: NONE
 MAXIMUM LOT COVERAGE: TO BE DETERMINED
 MINIMUM LOT WIDTH: NONE
 MINIMUM LOT DEPTH: NONE
 MAXIMUM BUILDING HEIGHT: NONE
 MINIMUM FRONT SETBACK: 10 FT
 MINIMUM REAR SETBACK: 10 FT
 MINIMUM SIDE SETBACK: 0-5 FT EAST, 0-5 FT WEST
 MINIMUM LANDSCAPE AREA: 15%

TOTAL DEVELOPMENT DATA:

GROSS AREA: 236,863 SF 5.44 ACRES
 BUILDING: 68,245 SF
 ROW AREA: 4,363 SF
 EASEMENT AREA: 12,080 SF
 NET AREA: 232,500 SF (GROSS-ROW)
 LANDSCAPE: 47,879 SF 20% OF NET AREA

COMMERCIAL DEVELOPMENT DATA:

PROPOSED SITE AREA: 61,145 SF 1.40 ACRES
 PROP. BLDG: 18,216 SF 30% OF SITE AREA
 NET AREA: 36,626 SF
 ROW AREA: 4,363 SF
 EASEMENT AREA: 1,940 SF

PARKING:

REQUIRED: 1 SPACE/350 SF OF FLOOR AREA
 18,216/350 = 52
 PROVIDED: 78 (3 HANDICAP & 7 ELECTRIC CHARGE)

WASTE/RECYCLE:

REQUIRED: 10 SF/ONE THOUSAND (1,000) SQUARE FEET OF GFA
 10x(18,216 SF/1000)+10 = 192 SF

PROVIDED: 218 SF

STORM FACILITY:

SEE CIVIL PLANS FOR FULL DETAIL

RESIDENTIAL DEVELOPMENT DATA:

PROPOSED SITE AREA: 175,758 SF 4.03 ACRES
 PROP. BLDG: 48,399 SF 28% OF SITE AREA
 UNITS: 84 APARTMENT
 16 TOWNHOUSE
 NET AREA: 115,304 SF
 EASEMENT AREA: 9,870 SF

PARKING:

REQUIRED: 1.5 SPACES/DWELLING UNIT (MULTIFAMILY)
 84 x 1.5 = 126
 2 SPACES/DWELLING UNIT (TOWNHOUSES)
 16 x 2 = 32-(16 GARAGE UNITS & 16 DRIVEWAYS)=0
 PROVIDED: 133 (5 HANDICAP)

WASTE/RECYCLE:

REQUIRED: 5 SF(PER UNIT) + 50
 (5 X 100) + 50 = 550 SF

PROVIDED: 554 SF

STORM FACILITY:

SEE CIVIL PLANS FOR FULL DETAIL

LOADING:

SHALL BE PROVIDED IN FRONT OF EACH BUILDING

ACTIVE OR PASSIVE RECREATIONAL OR OPEN SPACE FEATURES:
 TO BE DETERMINED

ABOVE-GROUND UTILITIES:

SEE CIVIL PLANS

EXISTING STRUCTURE TO BE RETAINED:

NONE

SIGNING AND STRIPING PLAN:

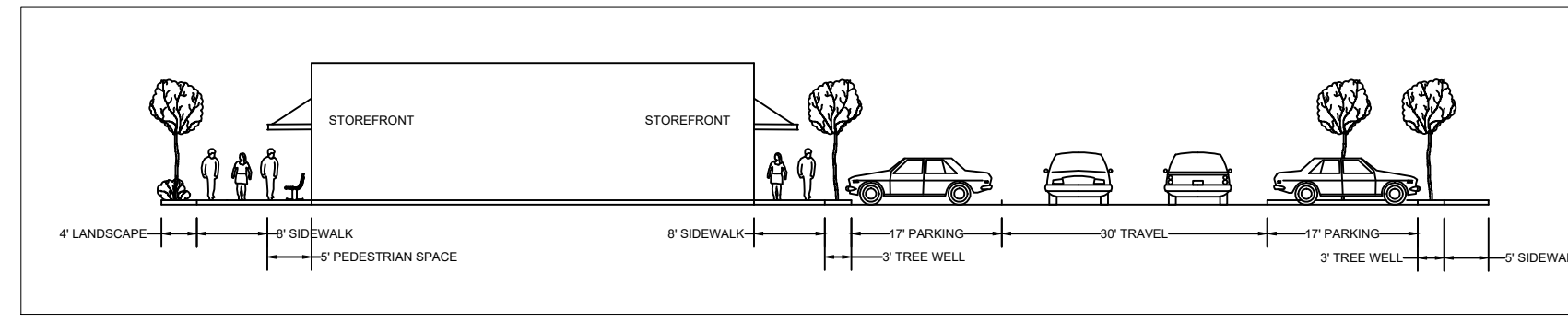
SHALL BE DETERMINED

SIGN PLAN:

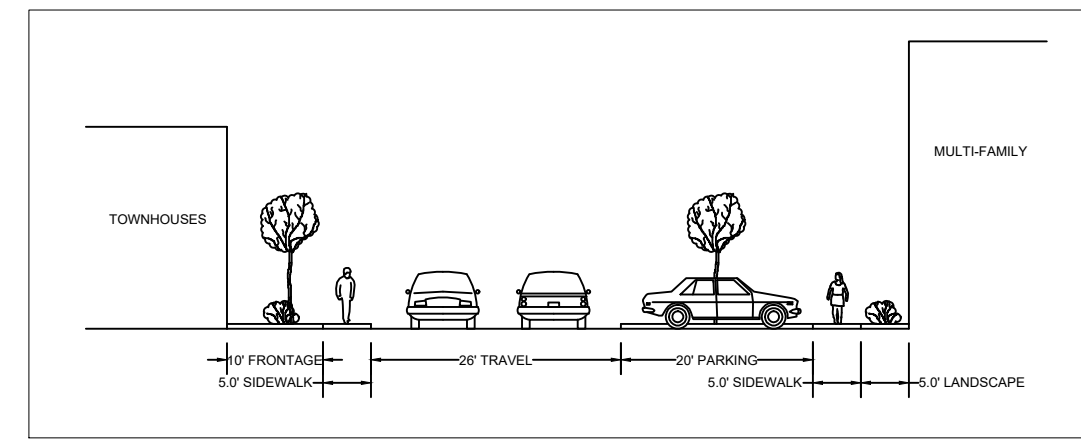
IS NOT PROPOSED AT THIS TIME.

SANITARY SEWER EASEMENT:

SEE CIVIL PLANS FOR FULL DETAIL



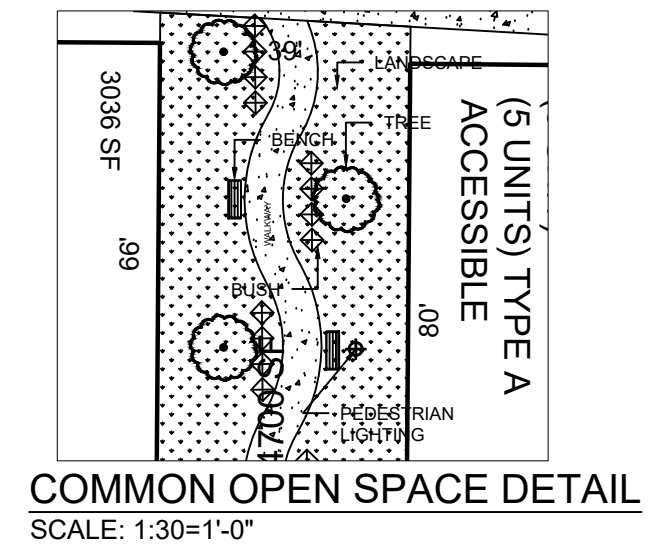
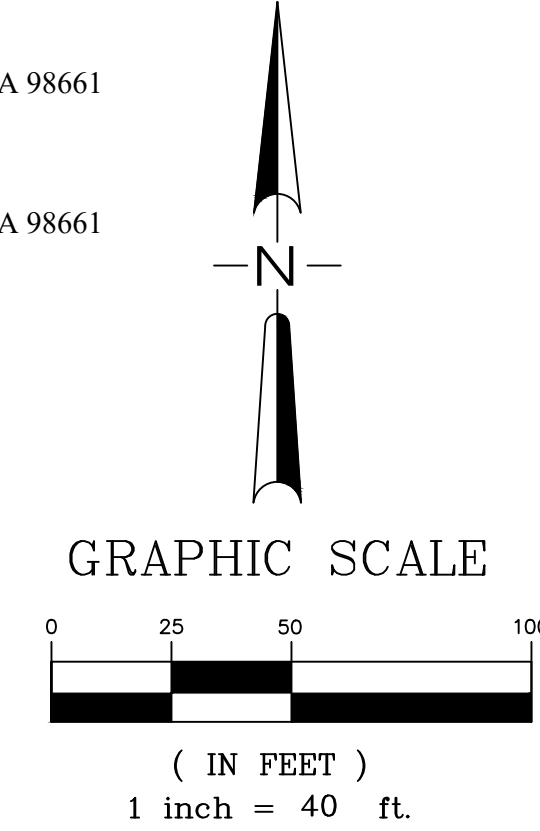
TYPICAL COMMERCIAL CROSS-SECTION
 SCALE: 1:20=1'-0"



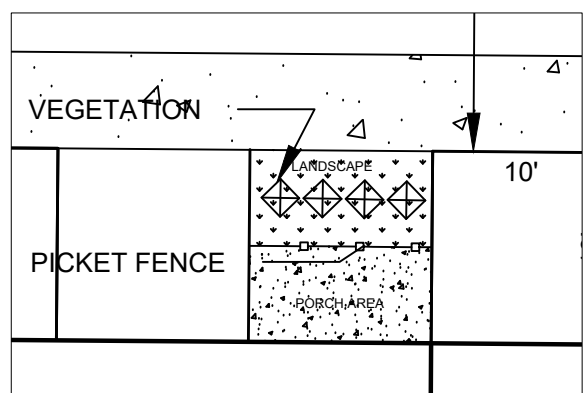
TYPICAL RESIDENTIAL CROSS-SECTION
 SCALE: 1:20=1'-0"

LEGEND:

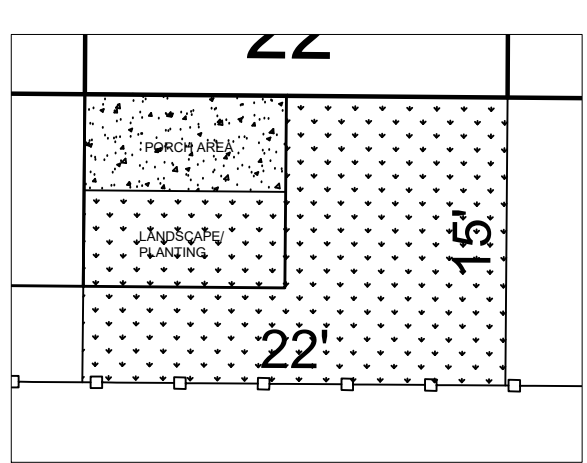
- WATER LINE
- SEWER LINE
- STORM LINE
- BUILDING
- PROPERTY LINE
- EASEMENT PROPOSED/EXISTING
- PROPOSED FENCE
- PROPOSED SIDEWALK
- TRASH ENCLOSURE
- LANDSCAPE AREA
- PEDESTRIAN WALKWAY
- ACCESSIBLE ACCESS ARBLE
- VEHICULAR TRAVEL DIRECTION
- ACCESSIBLE PARKING SPACE
- COMPACT PARKING
- ELECTRIC CAR PARKING



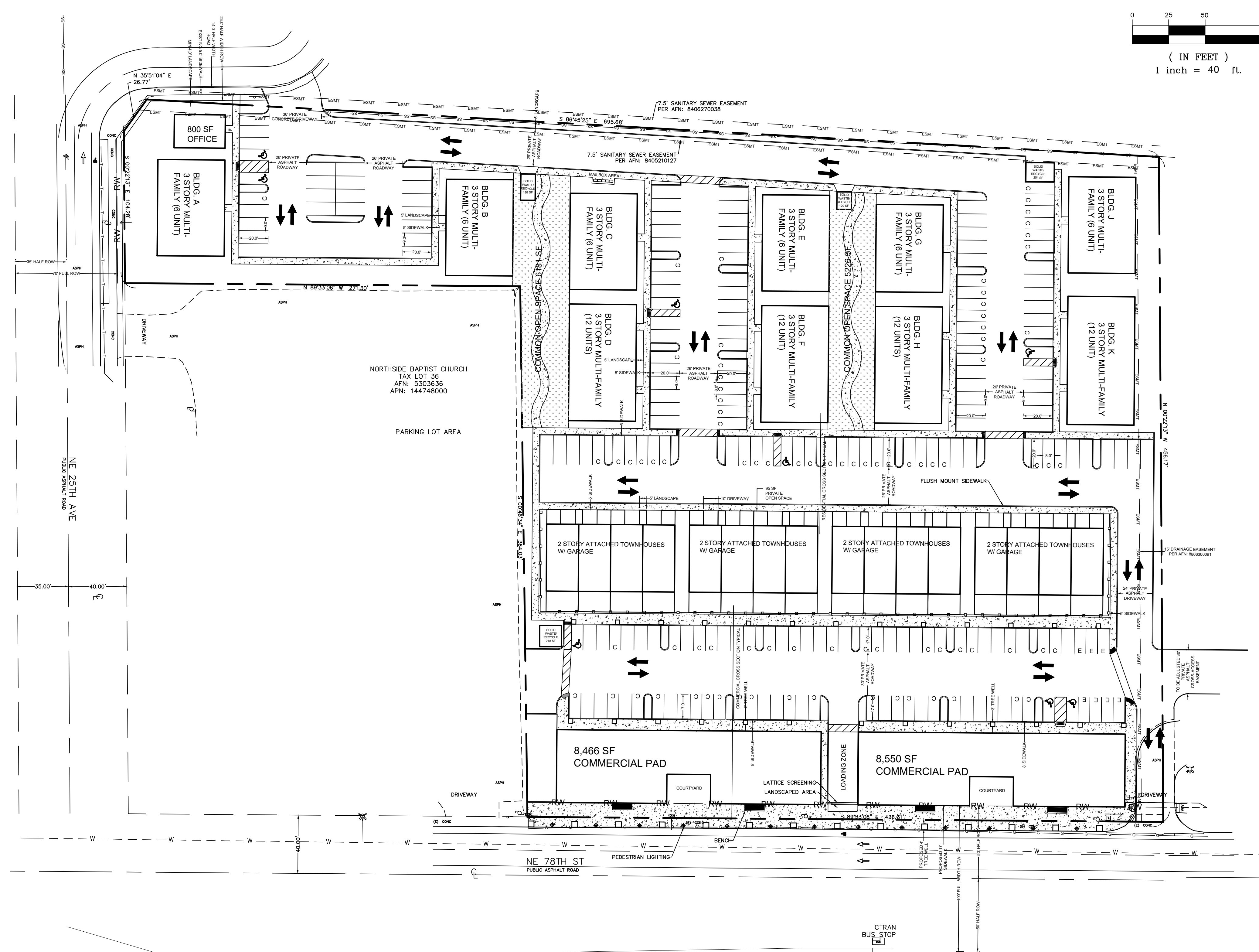
COMMON OPEN SPACE DETAIL
 SCALE: 1:30=1'-0"



FRONT PRIVATE OPEN SPACE DETAIL
 SCALE: 1:10=1'-0"



REAR PRIVATE OPEN SPACE DETAIL
 SCALE: 1:10=1'-0"



PRELIMINARY SITE PLAN FOR:
78TH ST PLACE

CHANGES / REVISIONS	DATE
NOT FULLY COMPLETE	11-16-17

DESIGNED: CB
 DRAWN: CB
 CHECKED: KK
 DATE: NOVEMBER 2018
 SCALE: H: 1" = 40'
 V:

JOB NO.
SHEET
S1.0